

Planning Applications Committee

22 July 2026



Title	PLANNING APPLICATIONS REPORT
Ward	Caversham
Planning Application Reference:	PL/26/0614 FUL & PL/26/0617 LBC
Site Address:	Caversham Court, Church Road, Caversham
Proposed Development	Repair and conservation work to the Gazebo, Causeway, Stable Block boundary wall and gate piers, East (screen) wall gates and gates opening and buttress to the adjacent garden wall.
Applicant	Christelle Beaupoux, RBC Culture
Report author	Marcie Rejwerska, Senior Planning Officer
Deadline:	24 July 2026 (agreed extension of time)
Recommendation	GRANT PLANNING PERMISSION Recommended conditions: 1. Time Limit (standard) 2. Approved Plans 3. Materials As Specified 4. Arboricultural Method Statement – as specified 5. Protected species measures implemented as specified in the Stage 2 Bat Report GRANT LISTED BUILDING CONSENT Recommended conditions: 1. Time Limit (standard) 2. Approved Plans 3. Any replacement material of flintwork, stonework, brickwork, plain clay roof tiles, timberwork, including all exposed and non-exposed timber frame, windows, doors, and laths, and clay/terracotta floor tiles to be used in the repair works of the listed wall hereby permitted shall match exactly in type, material, colour and texture and be laid in bond, coursing and mortar bedding to match those found in the existing construction and design. 4. Prior to the commencement of any works in connection with the repair or replacement of the existing lime mortar and lime plaster surfaces, including internal floors, walls, and ceilings, details of the proposed lime mixes and final

	lime finishes (proposed lime wash) shall be submitted to and approved in writing by the Local Planning Authority. The works thereafter shall be carried out in accordance with the approved details. 5. All repair works, including removal of loose flashings, deteriorated paint and finish to timberwork; raking out mortars; removal and replacement of defective original materials; and removal of vegetation, shall be carried out carefully by hand or by tools held in the hand, other than power-driven tools; and all original materials shall be stored in a dry and secure place for re-use. 6. Following the inspection of the existing oak wall plates and prior to any further repairs to all timberwork, a schedule detailing the works, including finishes, shall be submitted to and approved in writing by the Local Planning Authority. The works thereafter shall be carried out in accordance with the approved details. 7. Following the localised investigations of the listed walls on site and prior to any repairs, a schedule detailing the works shall be submitted to and approved in writing by the Local Planning Authority. The works thereafter shall be carried out in accordance with the approved details. 8. Following the removal of the vegetation from the south wall and further investigation of the listed walls, and prior to any repairs, a schedule detailing the works shall be submitted to, and approved in writing by, the Local Planning Authority. The works thereafter shall be carried out in accordance with the approved details.
Informatives	1. Positive and Proactive Working – approval 2. Terms 3. Pre-commencement conditions 4. Complaints about construction

1. Executive summary

- 1.1 The report considers applications for full planning permission and listed building consent for a programme of conservation and repair works at Caversham Court Gardens affecting the gazebo, the causeway to the upper level in the gazebo, the stable block east courtyard boundary wall and associated gate piers, the double oak gates to the principal entrance on Church Road and part of the existing garden forecourt north wall and associated buttress that separates the former main house courtyard with the courtyard to the stable block.
- 1.2 The report assesses the impact of the proposed works in terms of heritage implications, impact on the existing trees and protected species found at the

gardens. There are no major issues identified and the applications are recommended for approval subject to conditions as outlined above.

2. Introduction

- 2.1 The proposal affects a number of different listed structures at Caversham Court Gardens, which is itself a Grade II Registered Park and Garden. The national listing entries for the affected structures read as follows:

The Gazebo

CHURCH ROAD 1. 5128 (South Side) Caversham Riverside Garden Pavilion at Caversham Court (Formerly listed as Caversham Court Garden) SU 7074 11/263A 22.3.57. II 2. Early to mid C17 probably. Said to bear date 1617. Built by the Lovedays of Caversham Court. Reached by a raised walk (qv) from the main axial terrace (qv). At the south-west corner of the garden. 2 storeys square plan, 1st floor timber framed and entered from raised terrace. The ground floor forms a battered basement and is built of brick. An early example of Flemish bond. Hipped old tile roof. The 1st floor room, intended to give a view of the river has original casement window of the "Ipswich" type to south and to east, and an original 6 panel door. The west entrance to the ground floor room has a rusticated surround of flint. The south side has a blind oculus which possibly once had cruciform opening. Altered doorway to east. Formerly had windvane dated 1663.

The Causeway

CHURCH ROAD 1. 5128 (South Side) Caversham Retaining walls to raised walk to Riverside Garden Pavilion at Caversham Court SU 7074 11/446 II 2. C17. Mostly brick, partly flint with brick banding and buttresses (to west). Varies from 8 to 5 foot high (lower to east, formal side). The retaining wall of the terrace walk is continued north up to the church yard retaining wall (qv) although interrupted by the allotments entrance (flint base with brick lacing courses, buttresses and upper courses).

The Stable Block Boundary Wall and Gate Pier

CHURCH ROAD 1. 5128 (South Side) Caversham Caversham Court Stables SU 7074 11/263 22.3.57. II GV 2. Mid-late C17 stables of now destroyed Caversham Court. Some alterations. 2 storeys, brick, with string at 1st floor level. Old tile roof. Ground floor has 3 stone mullioned and transomed 2 light windows, right hand part of ground floor thicker. The left hand door has small stone mullioned overlight. Stone label mould over ground floor windows. 1st floor has 5 small C20 casements. Modern extension to left. Cobbled courtyard in front. Large late C19 detached coach house to east. Enclosed to street by flint stepped wall with ashlar and flint gatepiers.

Screen Wall at North East End

CHURCH ROAD 1. 5128 (South Side) Caversham Screen wall at north-east end of Caversham Court Recreation Ground SU 7074 11/445 II GV 2. Early-mid C19. Probably by Augustus Welby Northmore Pugin. Gothic. Flint on ashlar and brick

basement. About 10 foot high with stone cope and occasional pinnacles. Brick lacing courses to south. 4 lancets to left. Entrances framed by 3 bays on each side with weathered buttresses and ogee-shaped panels. Returned to north in brick with chamfered cope. This part of the wall also has gateway, pcesunably formerly linking stable court: ogee headed archway, ashlar fronted to south, with 4 flanking bays (brick lined ogee panels to south). Part of wall realigned in early part of C20. Pugin attribution based on recollection of Marianne Loveday (former leaseholder).

- 2.2 The full listing description for the Registered Park and Gardens can be found on the Historic England register at the following weblink: <https://historicengland.org.uk/listing/the-list/list-entry/1000582?section=official-list-entry>.
- 2.3 The gardens are also located within the St Peters Conservation Area.
- 2.4 The applications are required to be determined by Planning Applications Committee as Reading Borough Council is the applicant.

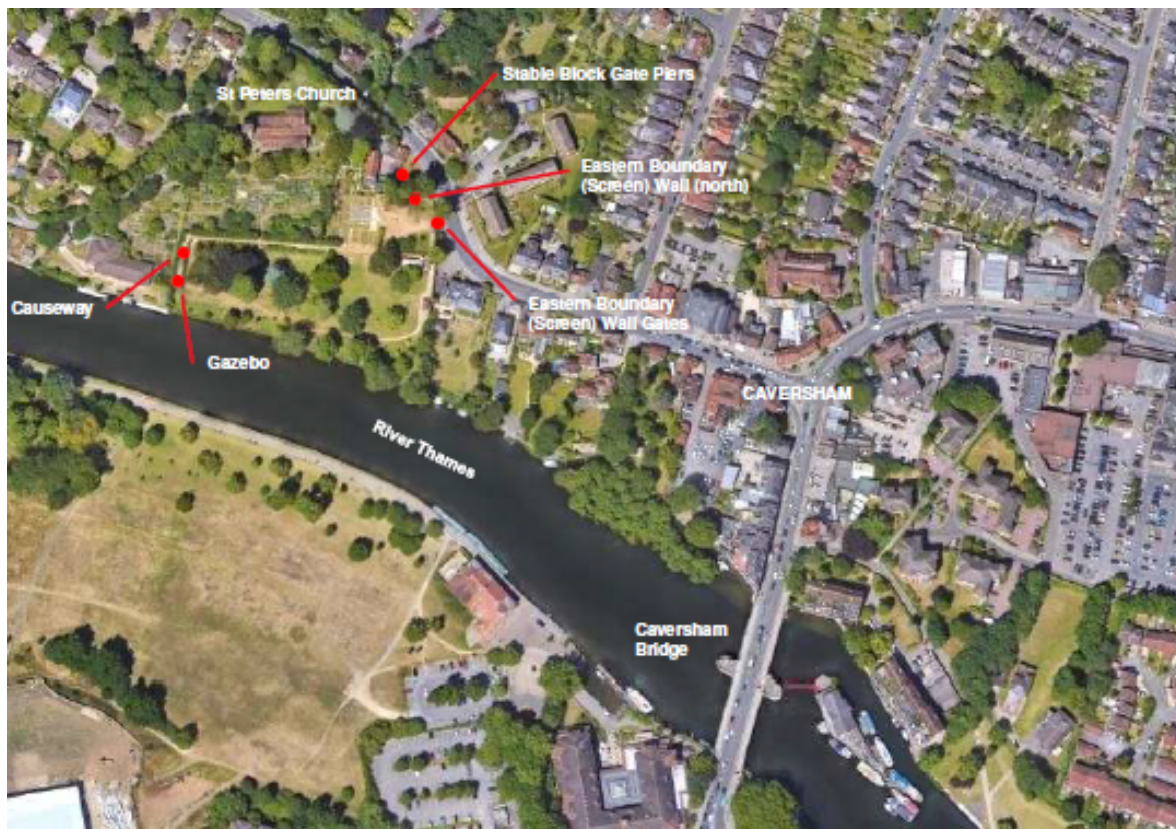


Figure 1: Aerial View – not to scale

3. The Proposal

- 3.1 Full planning permission and listed building consent are sought for conservation, and repair works to the structures as listed above. The works are necessary to rectify building faults and defects where these have been identified in the submitted Heritage Statement. Replacement entrance gates are also proposed. A comprehensive schedule of works has been submitted which details how the works will be carried out.

3.2 Information submitted on 11 May 2026:

- SFK Report No. 25143.R01A Structural Report
- 1053-124-PL00-East Boundary Gate Piers and Gates as Existing Photographs
- 1053-122-PL00-North Boundary Buttress and Wall as Existing Photographs
- 1053-103-PL00-Existing Site Plan Gazebo and Causeway
- 1053-152-PL00- East Boundary Gate Piers and Gates as Proposed
- 1053-111-PL00-Gazebo Roof Plan as Existing
- 1053-150-PL00-Stable Block Boundary Wall and Gate Peirs as Proposed
- 1053-SCH-03-PR00-Stable Block Courtyard Wall and Gate Pier-Schedule of Repairs-
- 25143-SFK-CW-ZZ-DR-S-0001 P1 Causeway
- 1053-SCH-04-PR00-North Courtyard Screen Wall and Buttress-Schedule of Repairs
- 1053-119-PL00-Stable Block Boundary Wall and Gate Piers as Existing
- 1053-SCH-01-PR00-Gazebo-Schedule of Repairs-260424
- MW Drawing Issue Schedule 260508
- 1053-110-PL00-Gazebo Plans as Existing
- 1053-100-PL00-Location Plan
- 1053-102-PL00-Block Plan-Stable Block Courtyard Wall-North Boundary Wall and East Boundary Gate
- 1053-141-PL00-Gazebo South Elevation Repairs.
- 1053-SCH-05-PR00-East Boundary Wall Opening and Gates-Schedule of Repairs-
- 1053-140-PL00-Gazebo East Elevations Repairs
- SFK Report No. 25143.R03. Structural Report
- SFK Report No. 25143.R02. Structural Report
- 1053-139-PL00-Gazebo North Elevation Repairs
- 1053.HS.001.PL00-Caversham Court Gardens-Gazebo-Heritage Statement-Revision 0-
- 1053-149-PL00-Causeway Elevations as Proposed
- E1280-380-R1 M Ent New Gates
- 1053-145-PL00-Gazebo Section AA Repairs
- 1053-115-PL00-Gazebo Elevations as Existing
- 1053-146-PL00-Gazebo Section BB Repairs
- 1053-121-PL00-North Boundary Buttress and Wall as Existing
- 1053-124-PL00-East Boundary Gate Piers and Gates as Existing Photographs
- 1053-117-PL00-Causeway Elevations as Existing
- 1053-104-PL00-Existing Site Plan Stable Block Courtyard Wall - North Boundary Wall and East Boundary
- 1053-101-PL00-Block Plan-Gazebo and Causeway
- 1053-SCH-02-PR00-West Retaining Wall to Raised Walkway-Schedule of Repairs-2
- 1053-151-PL00-North Boundary Wall Buttress as Proposed
- 1053-Caversham Court-BNG Exemption-Principals
- 1053-148-PL00-Gazebo Section DD Repairs
- 1053-120-PL00-Stable Block Boundary Wall and Gate Piers as Existing Photographs
- 1053-147-PL00-Gazebo Section CC Repairs.
- 1053-Design and Access Statement

- 1053-125-PL00-Gazebo Sections as Existing
- 1053-118-PL00-Causeway Elevations as Existing Photographs
- 1053-142-PL00-Gazebo West Elevation Repairs
- 1053-118-PL00-Causeway Elevations as Existing Photographs
- 1053-116-PL00-Gazebo Elevations as Existing Photographs

Information submitted on 16 June 2026:

- 1053-130-PL00-Gazebo-Floor Plans as Proposed- Repairs

Information submitted on 30 June 2026:

- RMT2075 Arboricultural Survey, Impact Assessment and Method Statement, dated 30 June 2026
- Appendix 4 – Tree Protection Plan

Information submitted on 25 June 2026:

- Stage 2 Bat Survey – Caversham Court Gazebo

Information submitted on 7 July 2026:

- Stage 1 Bat Survey - Caversham Court Gazebo

4. Relevant Planning History

- 4.1 PL/25/0606 & PL/25/0607 - Repair and conservation of part of the eastern boundary (screen) wall at Caversham Court Gardens including: part dismantling and rebuilding of two sections of the wall, repairs in situ to the wall, repairs to brickwork arches over existing below ground vaults, new structural concrete slab over vaults, alterations to existing surface water drainage and new supplementary surface water drainage, new paving to inner pavement, root protection measures. Applications permitted.
- 4.2 PL/19/0844 – Repairs to wall. Application withdrawn.
- 4.3 PL/13/0169 - Re-configuration of the main stairs in the stable block and minor alterations to the internal layout including new partitions and doors. Structural repairs to the coach houses and alterations to provide conference/meeting rooms with supporting facilities. New open covered walkway between the buildings with a clear glass roof. Referred to Secretary of State and granted.
- 4.4 PL/13/0168 - Re-configuration of the main stairs in the stable block and minor alterations to the internal layout including new partitions and doors. Structural repairs to the coach houses and alterations to provide conference/meeting rooms with supporting facilities. Application permitted.
- 4.5 PL/07/0863 & PL/07/1602 - Restoration of the Grade 2 Listed Garden and its structures, including repair and re-building of replicas and new disabled access

ramp. Refurbishment of toilet to kiosk and toilets, and soft landscaping. Applications permitted.

- 4.6 PL/07/0624 - To restore the weathervane on the apex of the Grade II listed gazebo. Application permitted.
- 4.7 PL/07/0344 - To restore the weathervane on the apex of the Grade II listed gazebo, by installing a facsimile of the original, which is held in St Peter's Church, Caversham. Application withdrawn.

5. Consultations

- 5.1 RBC Conservation Officer – No objections subject to conditions.
- 5.2 RBC Building Control – No comments to make.
- 5.3 RBC Natural Environment – Revised Arboricultural method statement is acceptable.
- 5.4 RBC Ecology Adviser – The applicant has submitted a preliminary bat survey report of the gazebo building (CA Ecology, March 2026) following the discovery of a Nathusius' pipistrelle bat within the building during structural survey works. Two subsequent emergence surveys (CA Ecology, June 2026) were undertaken. No bats were seen to emerge from the building, and the report concludes the building is unlikely to host roosting bats during the active season. However, the report states that the building has potential to host hibernating bats. For the reasons set out in section 5 of the report, there will be no need to undertake further winter surveys. There would therefore be no objections to the application, providing works are carried out in accordance with the recommendations set out in Section 5 of the report.
- 5.6 RBC Archaeology – No comments received.
- 5.7 Two site notices were displayed at the front of the site on 28 May 2026 in the public interest. The application was also advertised in the local press.
- 5.8 No letters of representation were received.

6. Legal Context

- 6.1 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the LPA to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.
- 6.2 Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority in the exercise of its functions to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.

- 6.3 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'. However, the NPPF does not change the statutory status of the development plan as the starting point for decision making (NPPF paragraph 12).
- 6.4 In this regard, the NPPF states that due weight should be given to the adopted policies of the Local Plan 2019 according to their degree of consistency with the NPPF (the closer the policies in the plan to the policies in the NPPF, the greater the weight that may be given).
- 6.5 Accordingly, the latest NPPF and the following development plan policies and supplementary planning guidance are relevant:
- 6.6 National Planning Policy Framework (December 2024, as amended)
- 6.7 National Planning Practice Guidance (2014 onwards)
- 6.8 Reading Borough Local Plan 2019 - Policies:
CC1: Presumption in favour of sustainable development
CC7: Design and the public realm
EN1: Protection and enhancement of the historic environment
EN3: Enhancement of Conservation Areas
EN6: New Development in a Historic Context
EN12: Biodiversity and the green network
EN14: Trees, hedges and woodland
- 6.9 Other relevant guidance/documentation:
St Peters Conservation Area Appraisal (2018)
Historic England Good Practice Guide Note Number 2: managing significance in decision-taking.
Principles of Conservation (Historic England, 2008)
- 6.10 Local Plan Partial Update
Local Plan (2019), the emerging Local Plan (Submission Draft 2025)
- 6.11 The current version of the Local Plan (adopted in November 2019) turned five years old on Tuesday 5th November 2024. The Local Plan was reviewed in March 2023 and around half of the policies in the plan are considered still up to date. However, the rest need to be considered for updating to reflect changing circumstances and national policy. The submission draft of the Local Plan Partial Update was submitted on 9th May 2025 and examined earlier this year. At the time of writing, the examination-in-public of the partial update to the local plan is in the

process of taking place. Stage 1 hearings were held virtually on 11th and 12th November 2025. Stage 2 hearings took place in February 2026.

- 6.12 Although there is a five-year period for carrying out a review of a plan after it is adopted, nothing in the NPPF or elsewhere says that policies automatically become “out of date” when they are five years old. It is a matter of planning judgement rather than legal fact whether a plan or policies within it are out-of-date. This will depend on whether they have been overtaken by things that have happened since the plan was adopted, either on the ground or through changes in national policy, for example.
- 6.13 Officer advice in respect of the Local Plan policies pertinent to these applications listed above is that, other than Policy H1 (Provision of Housing) they remain in accordance with national policy and that the objectives of those policies remain very similar in the draft updated Local Plan. Therefore, they can continue to be afforded weight in the determination of this planning application and are not considered to be ‘out of date’.

7. Appraisal

- 7.1 The main considerations relevant to the determination of this application are:
- I. Heritage Impacts
 - II. Natural Environment - Trees
 - III. Protected Species

I) Heritage Impacts

- 7.2 Policy CC7 (Design and the Public Realm) seeks to ensure that new development enhances and preserves the local character. Policies EN1 (Protection and Enhancement of the Historic Environment) and EN6 (New Development in a Historic Context) seek to conserve, protect and enhance designated heritage assets.
- 7.3 Paragraph 135 of the NPPF 2024 details that decisions should ensure that developments are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character including the surrounding built environment. Paragraph 139 of the NPPF 2024 details that development that is not well designed should be refused. Paragraph 215 of the NPPF 2024 states “Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”
- 7.4 The proposed works have been assessed by the case officer and Conservation Officer and it is agreed that the repairs and reinstatement works are essential to return the buildings and structures back to a good condition. The repairs are necessary as parts of the buildings and structures have deteriorated or have been

damaged by vehicle impact. Maintaining the buildings in a good state of repair will reduce the speed and rate of decay and deterioration and will preserve the historic features, detail and materials to reduce potential negative impact that will undermine architectural and/or historical significance.

Gazebo

- 7.5 The external repair works proposed for the listed gazebo constitute the partial replacement of exposed timber elements, including treatment and repainting of the exposed timber frame, doors and windows. There are also proposed repairs with ties for cracks and repointing with lime mortar of brickwork and flintwork walls, and redecoration of rainwater disposal goods. Most of the works are like-for-like repairs and replacements.
- 7.6 The works for the gazebo include structural repairs for the timber frame of the upper floor, which is a like-for-like replacement and minimal in scale, so that no harm is expected. Internally, the introduction of a new oak post on a brick plinth and a new concrete foundation to support the existing oak beam is considered necessary for the structural stability of the gazebo. Whilst the use of concrete is not ideal, as it would introduce a modern material into the traditional construction, it is noted that this is at the recommendation of the conservation engineer and is considered acceptable on that basis.

Causeway/Retaining Walls to Raised Walk to Riverside Garden Pavillion

- 7.8 The east wall has been largely rebuilt with a stepped concrete foundation. There is a cavity wall constructed with blockwork, which is assumed to have been filled with concrete/reinforced. Similarly, the west wall was also rebuilt in 2008. The structural repair for the causeway recommends conducting an on-site investigation to determine the cause of the cracking in the flintwork and a condition is recommended to secure this information. Given these walls have been structurally and partially altered, localised rebuilding of flintwork by use of stainless steel is considered not harmful and is acceptable.

Stables and Courtyard Wall

- 7.9 The demolished courtyard walls of the listed stable block are proposed to be reconstructed on a like-for-like basis. Additionally, further investigations after the removal of the existing vegetation are proposed, although the works do not include the installation of gates. The works would be beneficial and, therefore, supported, subject to the recommended conditions regarding further investigations.

East Boundary Screen Wall Opening and Gates

- 7.10 Similarly to the stable courtyard walls, north courtyard walls, and buttress, the replacement of the existing timber gate and localised repairs to the stonework of this wall are considered necessary and acceptable. New replacement oak gates would be an exact replica of the existing, which is not original, associated hinge pins and other metal elements to be replaced with new iron ones, and the gate

opening reveal and stonework would be repaired like for like. As such, the works are beneficial and acceptable.

II) Natural Environment - Trees

- 7.12 Trees are a material planning consideration whether or not they are protected. Section 197 of the Town and Country Planning Act states *'it shall be the duty of the LPA to ensure, whenever it is appropriate, that in granting planning permission for any development adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.'*
- 7.13 Policy EN14 (Trees, Hedges and Woodland) seeks to extend the Borough's vegetation cover and that development should make provision for tree planting whilst Policy CC7 (Design and the Public Realm) seeks proposals should include appropriate landscaping.
- 7.14 Paragraph 136 of the NPPF 2024 details that trees make an important contribution to the character and quality of urban environments and can also help mitigate and adapt to climate change.
- 7.15 The proposed works to the walls required limited crown lifting to facilitate access for investigations and works. Full details have been set out in the submitted arboricultural method statement which has been reviewed and is considered appropriate and reasonable. The works are therefore considered acceptable in this respect.

III) Protected Species

- 7.17 All bat species are European protected species (EPS) protected under the Conservation of Habitats and Species Regulations 2017. The impact of a proposal on protected species is therefore a material planning consideration.
- 7.18 The applicant has stated that pipistrelle bats have been spotted near the gazebo. As such, a bat survey was carried out of the gazebo itself which notes no bats were seen to emerge from the building, concluding that the building is unlikely to host roosting bats during the active season. The proposal is considered acceptable, subject to securing the measures as set out in Section 5 of the Stage 2 Bat Report as follows:
- No works to be undertaken between November and March inconclusive.
 - None of the potential roost features considered suitable for hibernating bats will be directly affected by the proposed works.

Equality implications

- 7.24 Under the Equality Act 2010, Section 149, a public authority must, in the exercise of its functions, have due regard to the need to—

- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

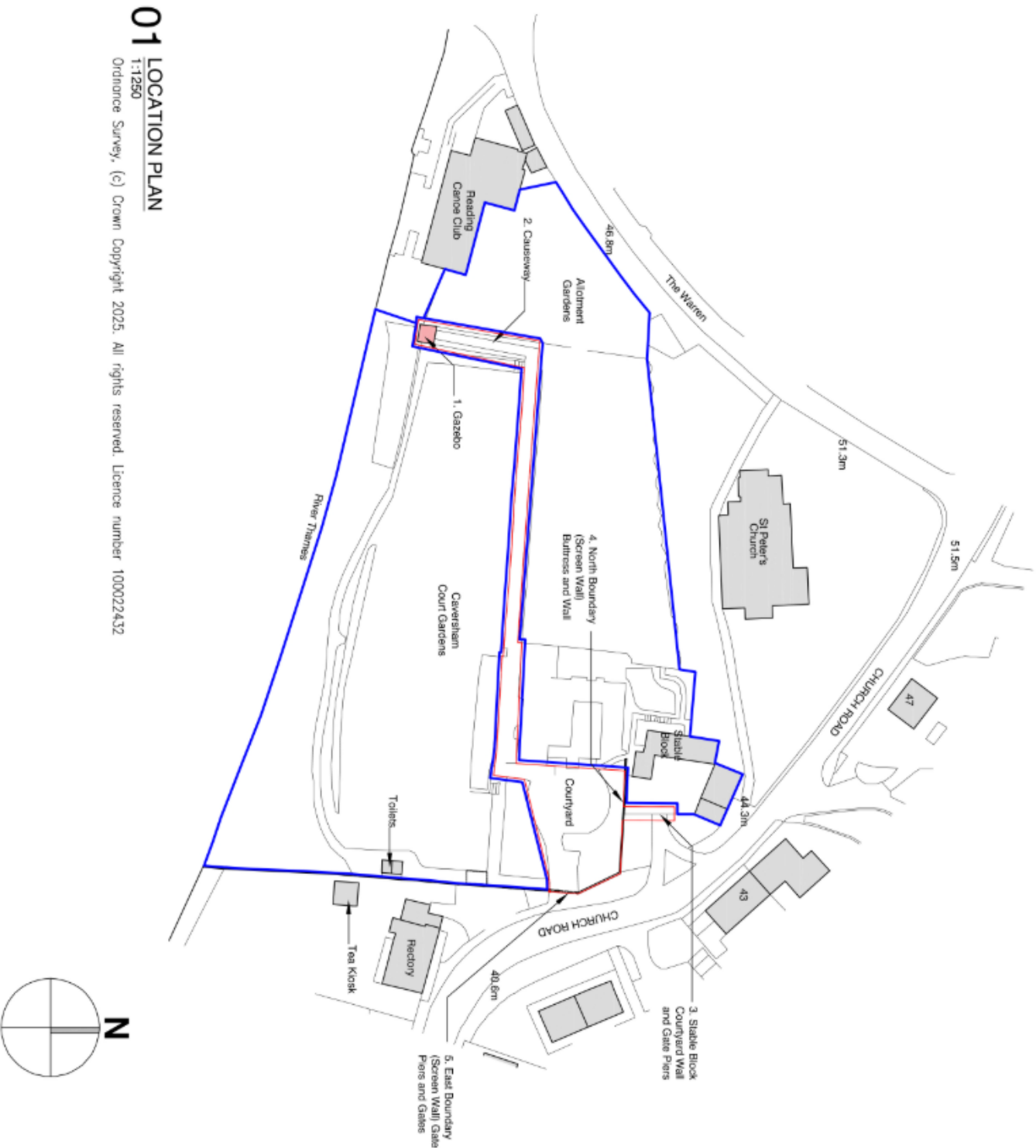
7.25 The key equalities protected characteristics include age, disability, sex, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation. There is no indication that the proposal would have any impact with regard to any protected characteristics.

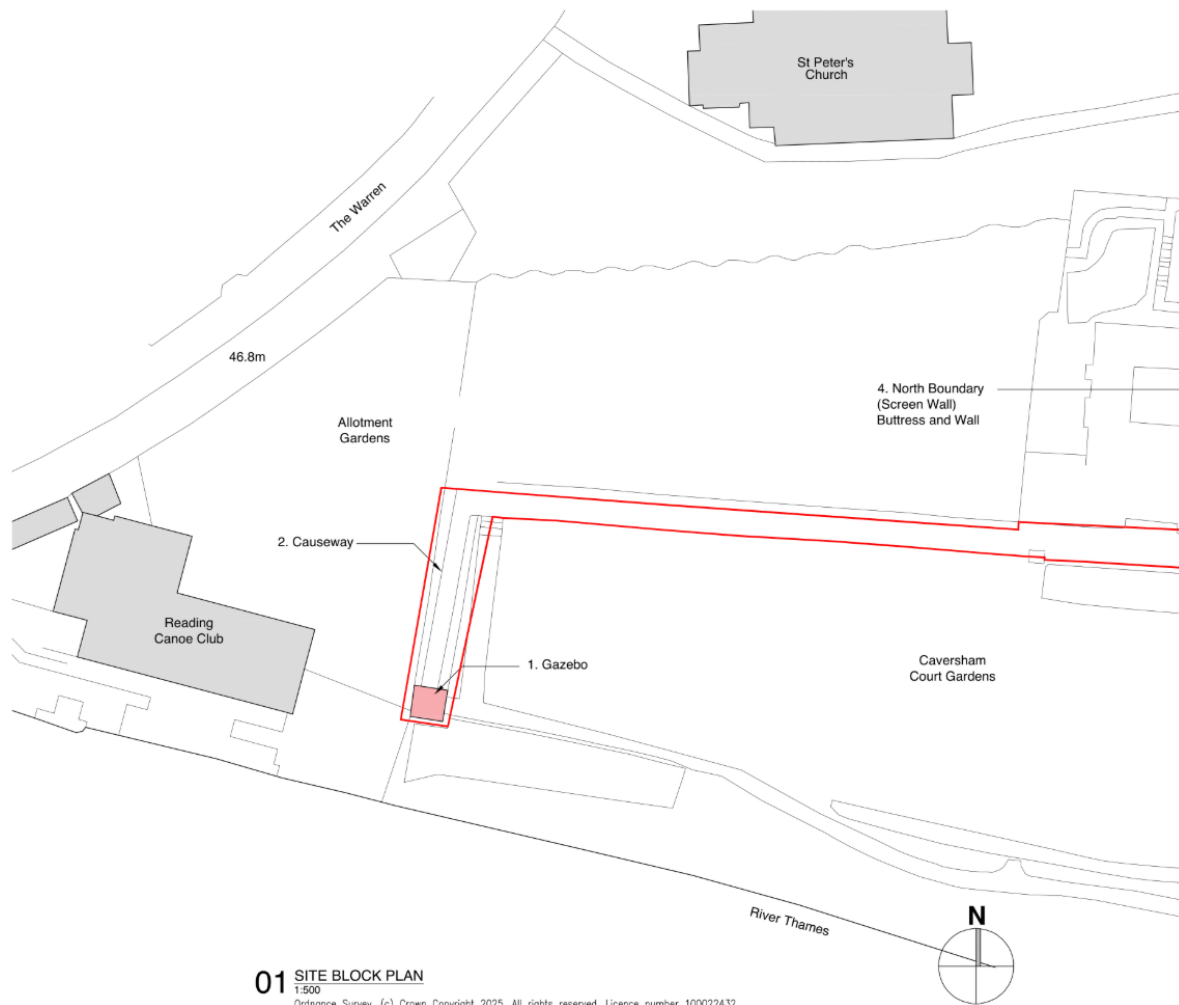
8. CONCLUSION

8.1 As with all planning applications considered by the Local Planning Authority, the application is required to be determined in accordance with the Development Plan unless material considerations indicate otherwise, as set out in Section 38(6) of the Planning and Compulsory Purchase Act 2004.

8.2 The repairs and reinstatement works are essential to return the buildings and structures back to a good condition. Maintaining the buildings in a good state of repair will extend their longevity, and the methods proposed are appropriate to maintain the architectural/historic significance of the heritage assets. Subject to the recommended conditions, both applications are recommended for approval.

Plans and documents considered:





01 Gazebo External - North
NTS



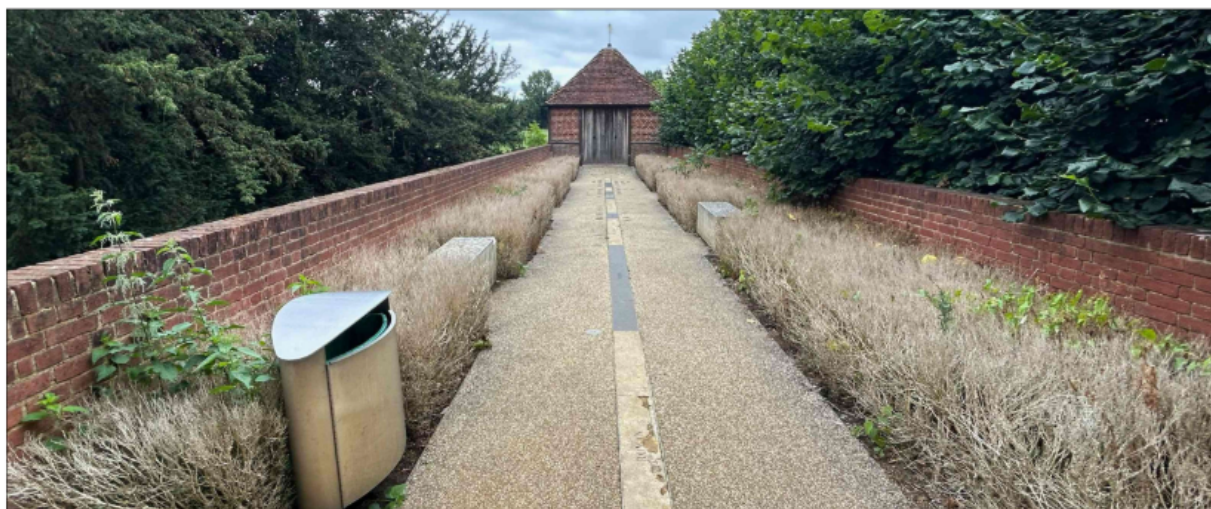
02 Gazebo External - East
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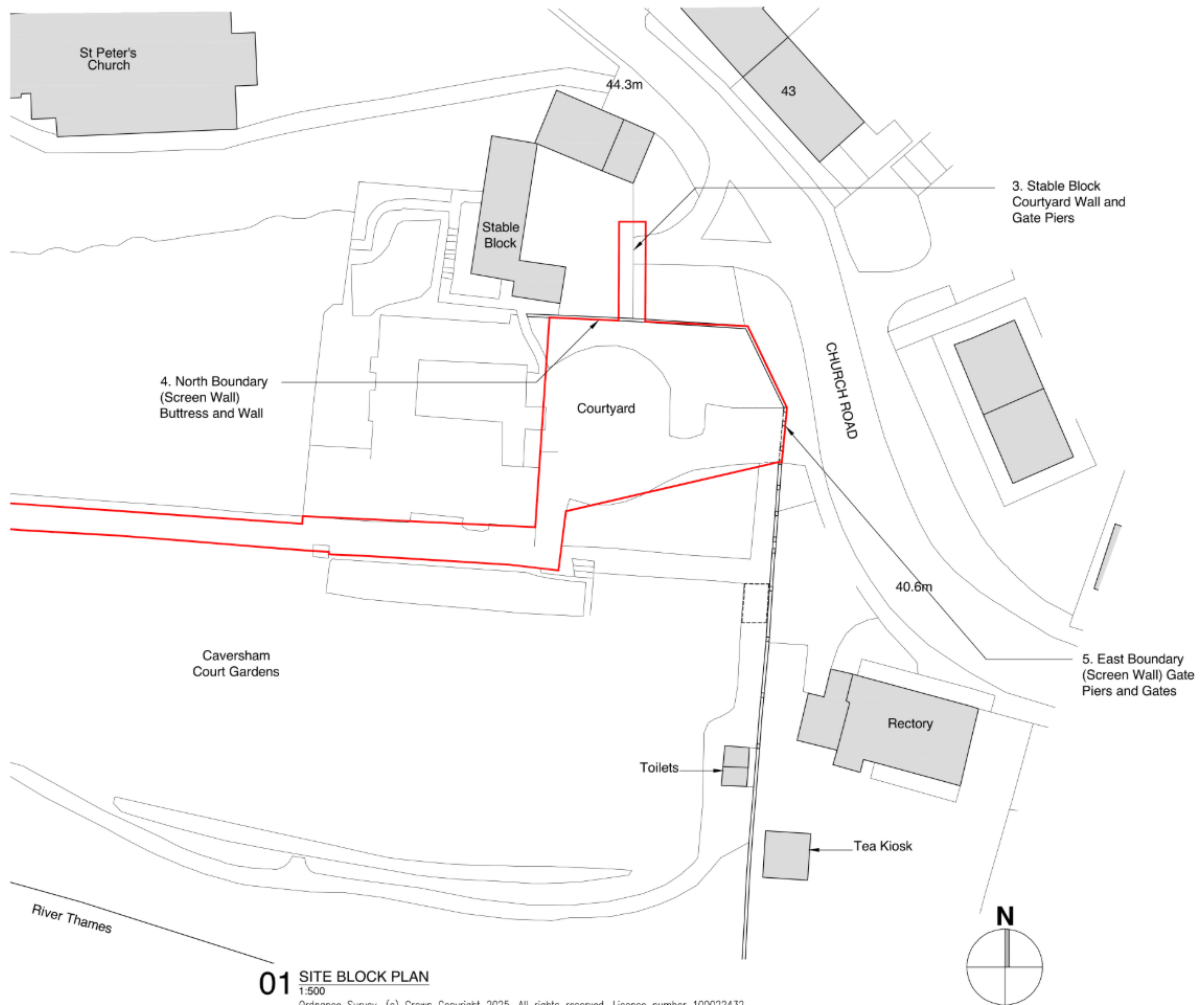
03 Gazebo External - South
NTS



04 Gazebo External - West
NTS



01 Upper Causeway Looking North
NTS



01 Stable Block Gateway & Piers from Highway
NTS



02 Stable Block Gateway & Piers Showing Damage from Highway
NTS



01 Boundary Wall - Caversham Court Gardens
NTS



02 Boundary Wall - Bay
NTS



04 Boundary Wall - Loose Flints
NTS



03 Boundary Wall - Damaged Pier Base
NTS



05 Boundary Wall - Damaged Pier
NTS



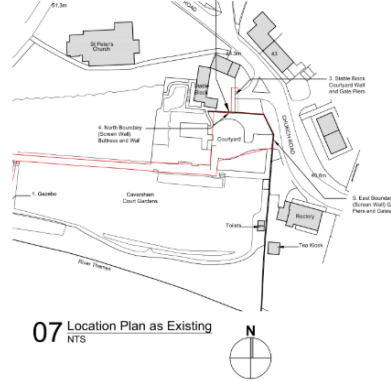
06 Boundary Wall - Damaged Pier
NTS

Defective Flintwork
to panels to bay
between buttresses

Damaged Buttress

Damaged Buttress

North Boundary (Screen Wall) Buttress and Wall



07 Location Plan as Existing
NTS

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project
Caversham Court

site
North Boundary Wall Buttress
as Existing - Photographs

drawn	check	revision
NTS@AS	PLANNING	
job no. 1053	sheet no. 122	revision number PL00

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01 Main Entrance Gate Piers Opening from Highway
NTS

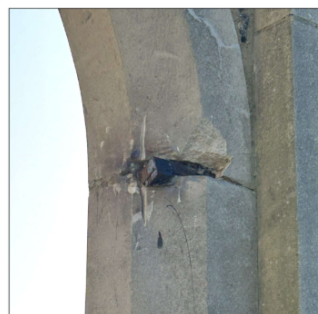


Remains of gates following impact
damage by car

02 Damaged Main Entrance Gates and Bollard
NTS

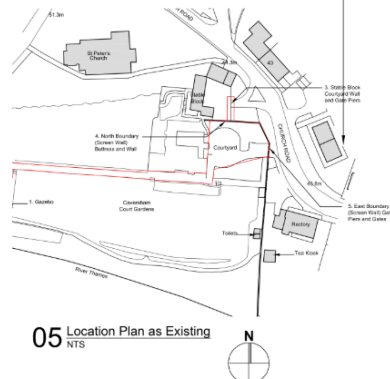


03 Damage to Gate Opening Reveal
NTS



04 Damage to Hinge Pin
NTS

North East (screen wall) Gates



05 Location Plan as Existing
NTS

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project
Caversham Court

site
East (screen wall) Gate as
Existing - Photographs

drawn	check	revision
NTS@AS	PLANNING	
job no. 1053	sheet no. 124	revision number PL00

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